

FOUNDATION NOTES

1. ALL CONCRETE SHALL BE 3,000 PSI (AT 28 DAYS) AIR ENTRAINED, U.N.O. (REF. DETAIL B/FND FOR WALL REINFORCEMENT SCHEDULE, TYP.)
2. CMU SHALL BE FILLED WITH 3,000 PSI GROUT WHERE INDICATED ON PLANS, MORTAR SHALL BE TYPE "S" FOR ALL BELOW GRADE APPLICATIONS.
3. BACKFILL WALLS IN EQUAL LIFTS, DO NOT BACKFILL WALLS UNTIL BASEMENT SLAB IS POURED AND 1ST FLOOR DECK IS INSTALLED AND FULLY SHEATHED.
4. WATERPROOFING AND DRAINAGE SYSTEM SHALL BE PROVIDED AS INDICATED AND DRAINAGE SHALL TERMINATE AT A SUITABLE SUMP OR DAYLIGHT CONDITION AS REQUIRED PER CODE.
5. DO NOT CUT DRILL OR NOTCH FOUNDATION WALLS WITHOUT APPROVED DETAILS FROM THE ENGINEER OF RECORD.
6. FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLOPE CUTS AND SOIL STABILIZATION IN ACCORDANCE WITH COUNTY REQUIREMENTS

FRAMING NOTES

1. FOLLOW MANUFACTURERS INSTRUCTIONS FOR CUTTING HOLES IN ANY 1-JOIST, LVL OR PSL PRODUCTS. DO NOT CUT HOLES OR NOTCH WITHOUT PROPER SIZING AND PLACEMENT.
2. ALL MULTI-PLY MEMBERS SHALL BE ATTACHED WITH 3-ROWS OF 16D NAILS AT 12" O/C (NAILED FROM BOTH SIDES OF BEAM ASSEMBLY FULL LENGTH)(ADD FILLER BETWEEN DOUBLE 1-JOISTS PER MANUF. SPECS.)
3. ALL HEADERS SHALL BE HEM FIR #2 & ALL STUDS SPF #2 U.N.O.
4. ALL LUMBER EXPOSED TO ELEMENTS OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (ACQ) SYP #2 OR EQUIVALENT TREATMENT APPROVED FOR GROUND CONTACT
5. USE ONLY APPROVED NON-CORROSIVE FASTENERS AND HARDWARE FOR ALL ATTACHMENTS IN PRESSURE TREATED LUMBER.
6. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLED HARDWARE (FILL ALL NAIL HOLES IN STRAPS AND HANGERS)
7. PROVIDE CRUSH BLOCKS UNDER ALL POSTS ABOVE (OF EQUAL WIDTH AND MATERIAL AS POST)
8. ALL INTERIOR 2X BEARING WALLS @ 16" O.C. (U.N.O.)
9. ALL EXTERIOR 2X4 WALLS @ 16" O.C. (U.N.O.)
- ALL EXTERIOR 2X6 WALLS @ 24" O.C. (U.N.O.)

WINDBRACING SCHEDULE

90 MPH (3-Second Gust) - Braced Wall Schedule				
BRACED WALL SCHEDULE - SEE ARCHITECTURAL COVERSHEET FOR CODE REFERENCE				
MARK	TYPE	LENGTH	DESCRIPTION	DETAIL
CS-WSP	PRESCRIPTIVE BRACED WALL (CS-WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-
WSP	PRESCRIPTIVE BRACED WALL (WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-
GB	PRESCRIPTIVE BRACED WALL (GB)	LENGTH PER PLAN (DOUBLE SIDED = ACTUAL LENGTH, SINGLE SIDED = .5 x ACTUAL)	1/2" GYPSUM WALL SHEATHING ATTACHED TO STUDS (BLOCKED) WITH DRYWALL SCREWS (#6x1 1/4" TYPE "S") @ 7" O/C AT EDGES, 12" O/C AT INTERMEDIATE SUPPORTS INTO 2X4 SPF#2 FRAMING MEMBERS.	-
LIB	PRESCRIPTIVE LET-IN-BRACE (LIB)	LOCATION PER PLAN (EITHER SIDE OF WALL)	SIMPSON TMB/WB/ECWB DIAGONAL BRACES LET IN TO THE TOP & BOTTOM PLATES AND STUDS. LET IN BRACING SHALL BE PLACED AT AN ANGLE NOT MORE THAN 60° OR LESS THAN 45° FROM HORIZ. USE 2-16D NAILS TO PLATES & 2-8D NAILS TO STUDS.	2-WB.01
CS-PF	WOOD PORTAL FRAME (CS-PF)	6:1 HEIGHT TO WIDTH RATIO	PORTAL FRAME OR PORTAL TRUSS	4-WB.01 A/B-WB.02

1. ALL BRACED WALLS AND SHEAR WALLS ASSUME A CONTINUOUSLY SHEATHED STRUCTURE IN ACCORDANCE WITH IRC SECTION 602.10.5
2. ALL VALUES SHOWN HAVE BEEN REDUCED TO REFLECT A S.G. = 0.43 FOR STUD FRAMING
3. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
4. REFERENCE ATTACHED DETAILS FOR PORTAL WALL FRAMING
5. FIELD NAILING SHALL BE AT 12" O/C, U.N.O.
6. BLOCK ALL EDGES AT BRACED WALL PANELS ONLY

HANGER SCHEDULE

ALL HANGERS SHALL BE AS SPECIFIED BY TRUSS OR JOIST MFG., U.N.O. (ALL HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE)

DESCRIPTION OF WORK/SITE INFORMATION

RENOVATION OF SINGLE TOWNHOME TO A 2-UNIT SEPARATE TOWNHOUSE

FRONT ELEVATION

PAR006 ROOF ACCESS MODIFICATION 07/24/18



BUILDING CODE SUMMARY

1125 7TH ST NE

Name of Project: 1125 7TH ST NE
Address: 1125 7TH ST NE, WASHINGTON, DC 20002
Proposed Use: RENOVATION OF SINGLE TOWNHOME TO A 2-UNIT SEPARATE TOWNHOUSE
Owner: STONY CREEK HOMES
Authorized Agent: TARQUE JAMES
City/County: Private State

LEAD DESIGN PROFESSIONAL: MSEG, LLC
DESIGNER: MSEG, LLC
ARCHITECTURE: MSEG, LLC
ELECTRICAL: CHAL FISHER
MECHANICAL: KHALID KHALIFA
PLUMBING: KHALID KHALIFA
STRUCTURAL: SHAWN P. KELLEY

2012 ICC EXISTING BUILDING CODE
2012 ICC FUEL GAS CODE
2011 NATIONAL ELECTRICAL CODE
2012 ICC RESIDENTIAL CODE
2012 ICC BUILDING CODE
2012 ICC MECHANICAL CODE
2012 ICC PLUMBING CODE
2012 ICC ENERGY CONSERVATION CODE
2012 ICC GREEN CONSTRUCTION CODE
DCM 12 DC CONSTRUCTION CODE SUPPLEMENT 2013
DCM TITLE 11 - ZONING REGULATIONS
DC LAW 8-36 DISTRICT OF COLUMBIA ENVIRONMENTAL POLICY ACT OF 1989

Construction Type: I-A, I-B, II-A, II-B, III, IV, V-A, V-B
Sprinklers: NO, YES, NFA 13, NFA 13R, NFA 13D, CLASS I, CLASS II, WET, DRY
Fire District: NO, YES
Building Height: SEE ELEVATIONS
Number of Stories: 3 STORIES WITH CELLAR
Mezzanine: NO, YES
High Rise: NO, YES

SITE DATA
ZONING: RF-1 RESIDENTIAL
LOT AREA: 2,535.8 SQ. FEET
GROSS BUILDING AREA: NEW UNIT (150 FT) 516 SF, NEW UNIT (250 FT) 515 SF

BUILDING CODES
2012 ICC EXISTING BUILDING CODE
2012 ICC FUEL GAS CODE
2011 NATIONAL ELECTRICAL CODE
2012 ICC RESIDENTIAL CODE
2012 ICC BUILDING CODE
2012 ICC MECHANICAL CODE
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REVISION LOG

Revision Date:	Revision Date:	Revision Date:	Revision Date:
PAR001 03/30/17 RESPONSE TO DCRA STRUCTURAL REVIEW COMMENTS	PAR003 02/06/18 FLIPPED FRONT UNIT, RAISED BREEZEWAY TO BE FULLY ABOVE GROUND, CHANGED FRONT ELEVATION TO BRICK	PAR005 06/05/18 CHANGES TO PERMIT B1706219 AND B1805207 FOR NEW BUILDING CONDITIONS AT 1125 7TH ST NE AND HATCH CHANGE	PAR006 07/24/18 CHANGES TO PERMIT B1706219 AND B1805207 FOR NEW SIDING ROOF TOP HATCH ACCESS
PAR002 04/04/17 RESPONSE TO CENTURY ASSOCIATES REVIEW COMMENTS	PAR004 04/16/18 RESPONSE TO DCRA ELECTRICAL & ZONING COMMENTS		

ABBREVIATIONS

A.B. ANCHOR BOLT	CONT. CONTINUOUS	ELEV. ELEVATION	HGT. HEIGHT	MTL. METAL	REF. REFER TO REFERENCE	TYP. TYPICAL
A.F.F. ABOVE FINISH FLOOR	CONST. CONSTRUCTION	EQ. EQUAL	HORZ. HORIZONTAL	N.I.C. NOT IN CONTRACT	REIN. REINFORCING/REINFORCE	T. TREAD
ADJ. ADJACENT/ADJUSTABLE	CTSK. COUNTERSUNK	EQUIP. EQUIPMENT	HR. HEADER	NOT TO SCALE	R.M.Q. ROOMS	TR. TRIPLE
A.F.T. ABOVE FINISH TREAD	C.O. CASED OPENING	EXP. EXPANSION	HDR. HEADER	O.C. ON CENTER	RNG. RANGE	U.N.O. UNLESS NOTED OTHERWISE
ALUM. ALUMINUM	CANT. CANTILEVER	EXT. EXTERIOR	HB. HOSE BIB	OPR. OPERATOR	R.O. ROUGH OPENING	VERT. VERTICAL
ANCH. ANCHOR	C.T. CERAMIC TILE	EE. EACH END	I.D. INSIDE DIAMETER	OPNG. OPERATING	R. RISER	VERIFY IN FIELD
ANGLE ANGLE	CLG. CEILING	F/C FLOOR COVERING CHANGE	INGR. IN GROUND	OPT. OPTIONAL	RND. ROUND	W. WASHER
ARCH. ARCHITECTURAL	C.M. CROWN MOULD	F.D. FLOOR DRAIN	INSUL. INSULATION	O.S.B. ORIENTED STRAND BOARD	S.C. SAWCUT	W. WITH
AT AT	C.R. CHAIR RAIL	FDN. FOUNDATION	INT. INTERIOR	OZ. OUNCE	SCHEM. SCHEMATIC	W.D. WELDED WIRE FABRIC
BD. BOARD	D DRYER	FLR. FLOOR	I.S. INSIDE CORNER	1/R ONE ROD	SHELF SHELF	WO OR W/O WALKOUT
BLDG. BUILDING	d PENNY	F.P. FIRE PLACE	JS. JOINT	1/S ONE SHELF	SHT. SHEET	W/D W/W WALKOUT
BM. BEAM	DBL. DOUBLE	F.R. FIRE RATED	KSI KIPS PER SQUARE INCH	PC PRECAST	SIM. SIMILAR	W/D W/W WALKOUT
BTM. BOTTOM	DIA. DIAMETER	FRM. FRAME	LT. WT. LIGHTWEIGHT	PBD. PARTICLE BOARD	S.S. STAINLESS STEEL	W/D W/W WALKOUT
BLKG. BLOCKING	DN. DOWN	FT. FOOT / FEET	L.T. LIGHT	PL. PLATE	STL. STEEL	W/D W/W WALKOUT
BRG. BEARING	DR. DOOR	FTG. FOOTING	LVR. LOUVER	PNL. PANEL	STRUC. STRUCTURAL	W/D W/W WALKOUT
BRK. BRICK	DW. DISH WASHER	GA. GAUGE	L.T. LAUNDRY TUB	PWD. PLYWOOD	SUSP. SUSPENSION	W/D W/W WALKOUT
BSMT. BASEMENT	DWG. DRAWING	GALV. GALVANIZED	MAS. MASONRY	PF. PREFABRICATED	SGD. SLIDING GLASS DOOR	W/D W/W WALKOUT
C.J. CONTROL JOINT	D.S. DOWN SPOUT	G.C. GENERAL CONTRACTOR	MAT. MATERIAL	PR. PAIR	SQ. SQUARE	W/D W/W WALKOUT
CL. CENTER LINE	DTL. DETAIL	GEN. GENERAL	MAX. MAXIMUM	PROJ. PROJECT / PROJECTED	TB. TOWEL BAR	W/D W/W WALKOUT
C.M.U. CONCRETE MASONRY UNIT	E.A. EACH	G.L. GLUE LAM	MDO. MEDIUM DENSITY OVERLAY	PSI. POUNDS PER SQ. IN.	T & G. TONGUE AND GROVE	W/D W/W WALKOUT
COL. COLUMN	E.J. EXPANSION JOINT	HDWR. HARDWARE	MCH. MECHANICAL	PSF. POUNDS PER SQ. FT.	T.O.S. TOP OF SLAB	W/D W/W WALKOUT
CONC. CONCRETE	E.L.C. ELECTRICAL	HD.WD. HARDWOOD	MIN. MINIMUM	P.T. PRESSURE TREATED	TFW. TOP OF FOUNDATION WALL	W/D W/W WALKOUT
COND. CONDITION			M.O. MASONRY OPENING	QUAD. QUADRUPLE		

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STRUCTURAL CERTIFICATION

"STRUCTURAL PLANS CERTIFIED AS PROVIDED IN SECTION 106.1.4.1 OF THE DC CONSTRUCTION CODES SUPPLEMENT AS AMENDED TO DATE"

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CS.27 STRUCTURAL DETAILS	P.00 COVER SHEET PLUMBING
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	P.04 PLUMBING RISER DIAGRAM
	P.05 PLUMBING DETAILS

STRUCTURAL DESIGN DATA

BUILDING LOADS SOIL BEARING PRESSURE: ALLOWABLE = 2500 PSF (REF. SOIL CERTIFICATION)	EQUIVALENT FLUID PRESSURE: BASEMENT WALLS = 60 PCF* *USE ONLY GRAVEL OR CLEAN FILL IN ACCORDANCE WITH IRC SOIL CLASSIFICATIONS (CM, GC, SM, SM-SC OR ML)
FLOOR LOADS: (OPEN WEB TRUSSES) TYPICAL LIVE LOAD = 40 PSF (TOP CHORD) SLEEPING AREAS LL = 30 PSF (TOP CHORD) T.C. DEAD LOAD = 10 PSF (ALL FLOORS + ROOF DECK AREAS) B.C. DEAD LOAD = 5 PSF (ALL FLOORS + ROOF DECK AREAS) BALCONIES = 60 PSF LIVE LOAD (TYPICAL) COMMON STAIR AND CORRIDORS = 100 PSF LIVE LOAD	DEFLECTION LIMITS: - BEAM SUPPORTING ROOF ONLY: LIVE LOAD=L/360, TOTAL LOAD=L/240 - BEAM SUPPORTING FLOOR LOADS: LIVE LOAD=L/480, W/MAX. DEFLECTION OF 1/2" TOTAL LOAD=L/240 - JOIST SUPPORTING FLOOR LOADS: LIVE LOAD=L/480, W/MAX. DEFLECTION OF 1/2" TOTAL LOAD=L/240
ROOF LOADS: (OPEN WEB TRUSSES) SNOW LOAD = 30 PSF (ROOF) T.C. DEAD LOAD = 10 PSF (ALL NON ROOF DECK AREAS) B.C. DEAD LOAD = 10 PSF (ALL NON ROOF DECK AREAS)	WIND LOADS: BASIC WIND SPEED = 90 MPH (3 SEC. GUST) WIND LOAD IMPORTANCE FACTOR = 1.0 WIND EXPOSURE = B
COMPONENTS CLADDING: 90 MPH OR LESS (3 SEC. GUST): MAX. VALUE AT ROOF WILL BE (+18.2, -23.2) MAX. VALUE AT WALL WILL BE (+19.8, -26.6)	WIND AND DOOR PERFORMANCE 1. WINDOWS SHALL BE JELDWEN STIELINE EX SERIES TILT WASH DOUBLE HUNG, U.N.O. 2. U=0.30 SHGC=19 (DUAL PANE, LOW E, TEMPERED) 3. GLASS SIDELIGHTS SHALL BE JELDWEN STIELINE EX SERIES, U.N.O. 4. U=0.30 SHGC=19 (DUAL PANE, LOW E, TEMPERED) 5. SKYLIGHTS VELUX FIXED CURB MOUNT 6. U=0.53 SHGC=24 (DUAL PANE, LOW E, TEMPERED)

BUILDING SQUARE FOOTAGE

FINISHED SQUARE FEET:		
UNIT #1 - CELLAR = 516 S.F.	UNIT #2 - CELLAR = 515 S.F.	
UNIT #1 - 1ST FLOOR = 677 S.F.	UNIT #2 - 1ST FLOOR = 650 S.F.	
UNIT #1 - 2ND FLOOR = 677 S.F.	UNIT #2 - 2ND FLOOR = 650 S.F.	
UNIT #1 - 3RD FLOOR = 677 S.F.	UNIT #2 - 3RD FLOOR = 650 S.F.	
UNIT #1 - TOTAL = 2,547 S.F.	UNIT #2 - TOTAL = 2,465 S.F.	

BUILDING ADDRESS

PROPERTY ADDRESS:
STONY CREEK HOMES
1125 7TH ST NE
WASHINGTON, DC 20002

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1811245
MOMENT ENGINEERING + DESIGN
www.msegllc.com

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. All permits are required for trade work. Moment Structural or Plumbing

Zoning Review - Mamadou Ndaw - 08-03-2018
Fire Review - Luchi Lu - 08-02-2018
Mechanical Review - Chrys Edet - 08-02-2018
Plumbing Review - Chrys Edet - 08-02-2018
Energy Review - Robert Campbell - 08-02-2018
Structural Review - Bilton DeBessa - 08-02-2018

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1125 7th St NE - STONY CREEK HOMES
GENERAL NOTES
22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

DISTRICT OF COLUMBIA
ARCHITECT
3-1-17
REGISTERED

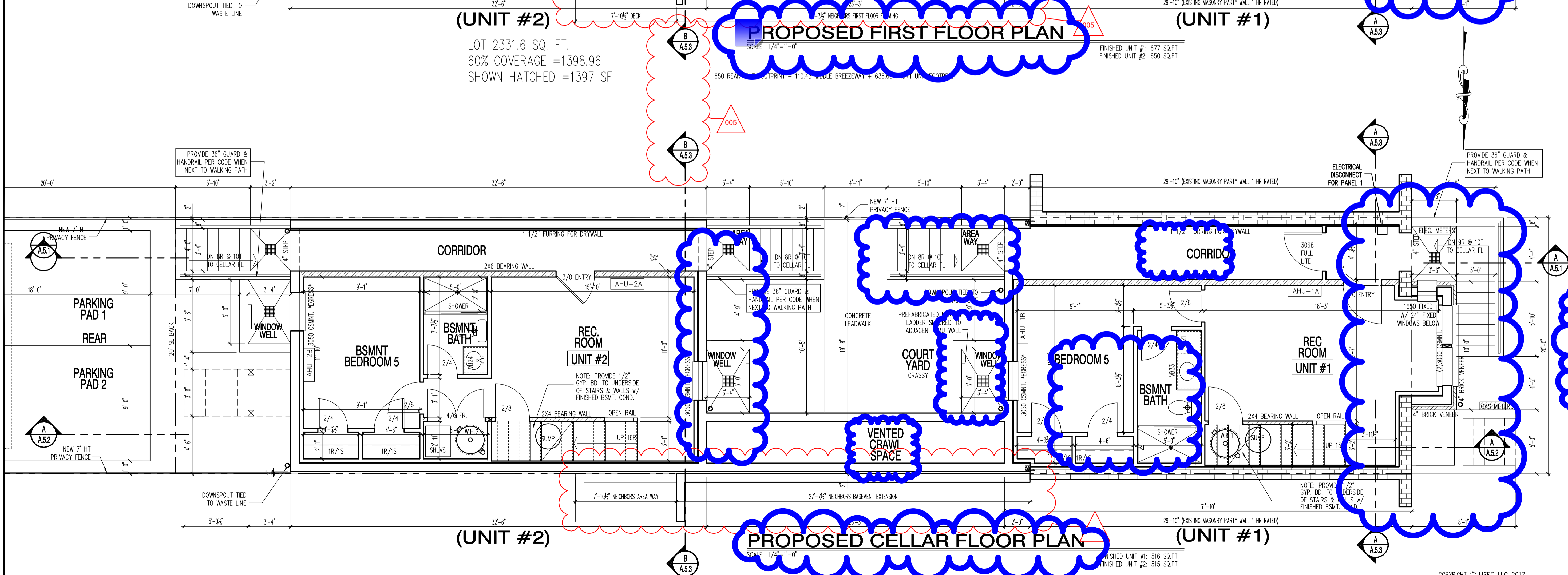
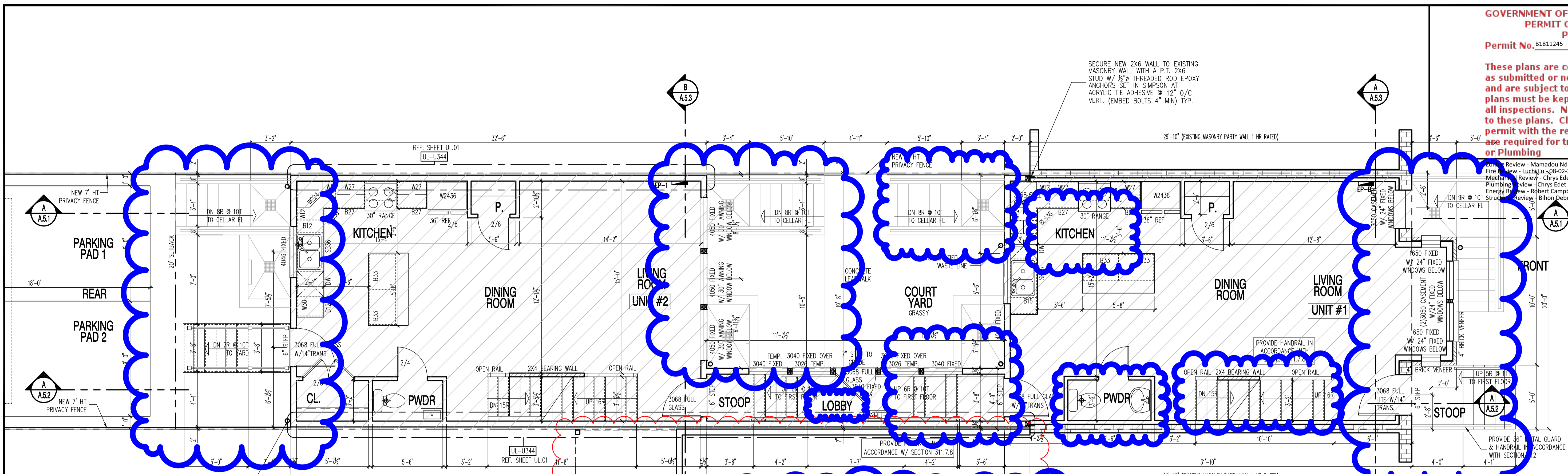
DRAWN BY:
MCR
DATE: 03/10/17
REV No. DATE
006 07/24/18

01.01.17

SHEET No.
CS.01
Board of Zoning Adjustment
District of Columbia
CASE NO. 19650
EXHIBIT NO. 99A

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1125 7th St NE - STONY CREEK HOMES
 PROPOSED CELLAR & FIRST FLOOR PLAN



DESIGNED BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 005 06/05/18

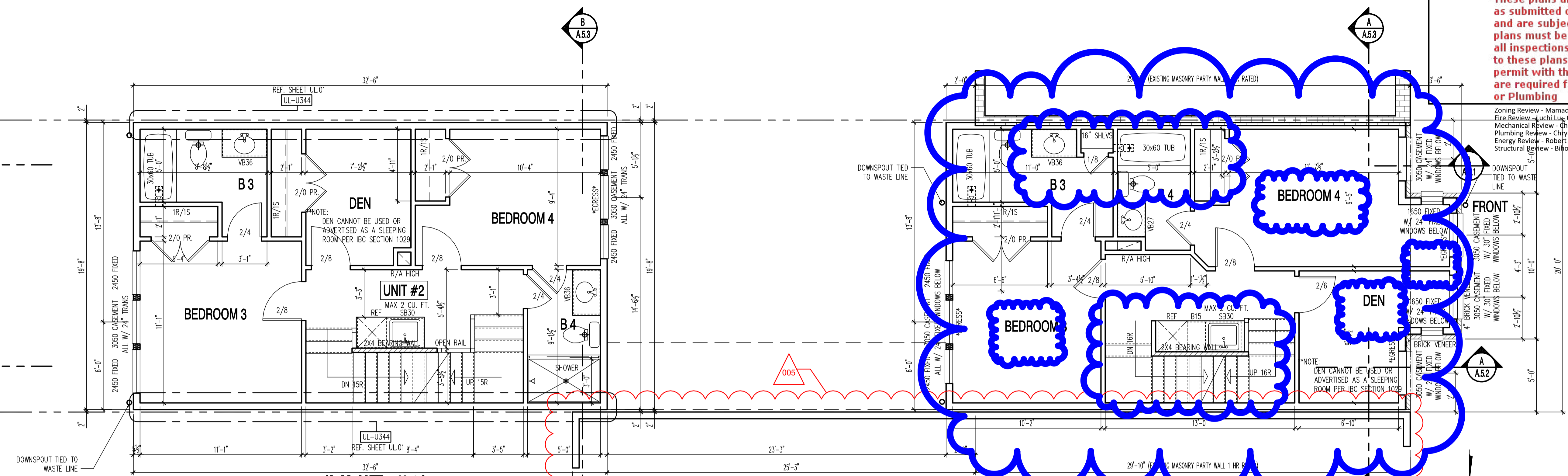
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SHEET No.
 A1.1

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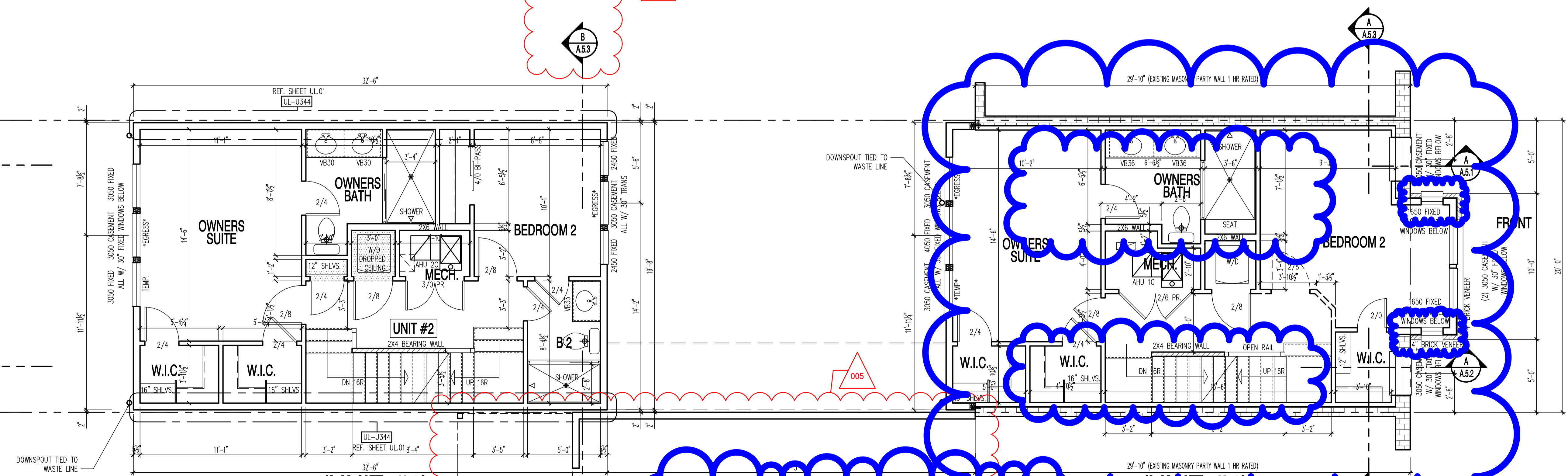
Zoning Review - Mamadou Ndoye - 08-02-2018
 Fire Review - Luchina Lin - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bilion Debesai - 08-02-2018

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PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 677 SQ.FT.
 FINISHED UNIT #2: 650 SQ.FT.



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 677 SQ.FT.
 FINISHED UNIT #2: 650 SQ.FT.

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 PROPOSED SECOND & THIRD FLOOR PLAN



DRAWN BY:	MCR
DATE:	03/10/17
REV No.	DATE
005	06/05/18

01.01.17

SHEET No.
 A2.1

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 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

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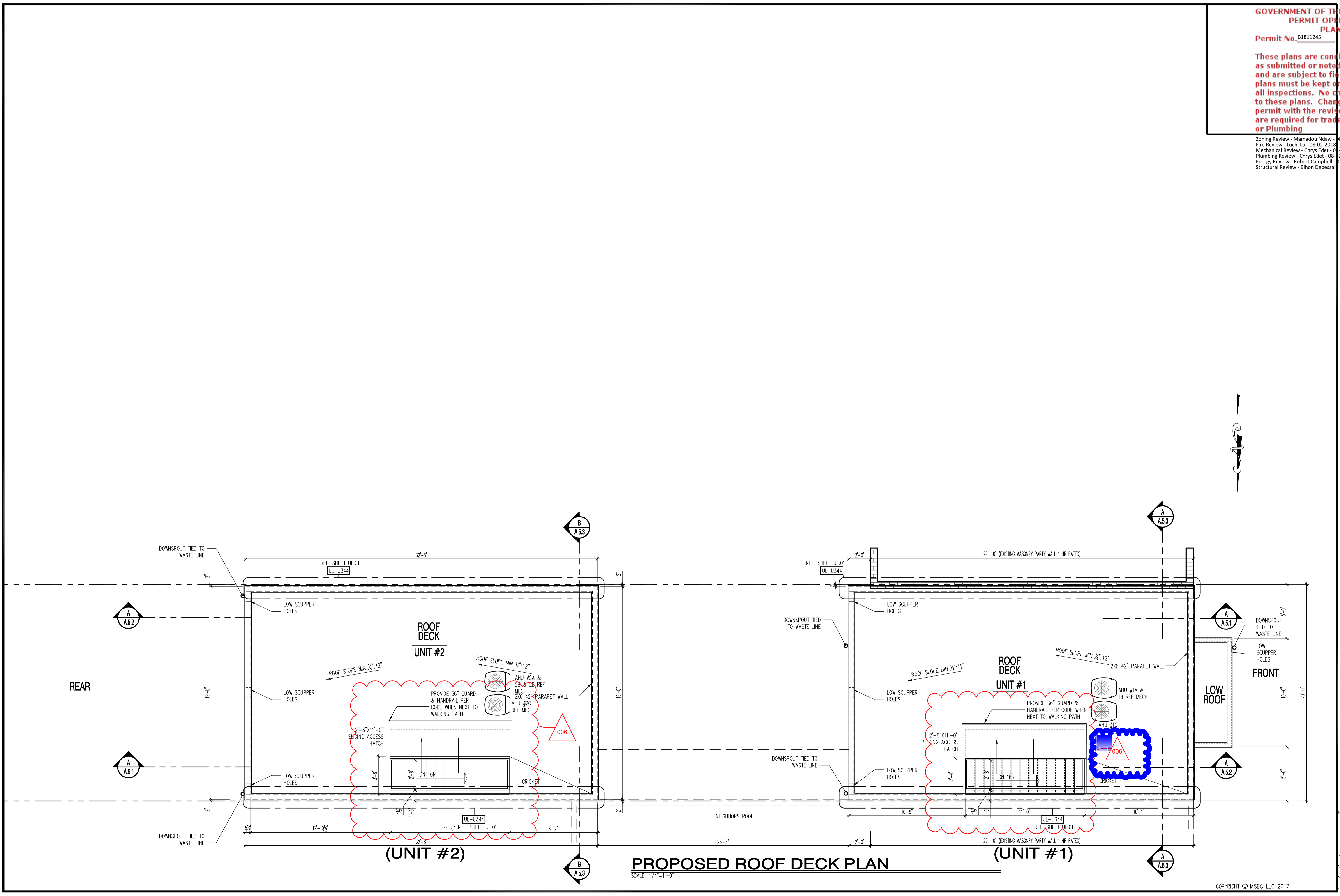
1125 7th St NE - STONY CREEK HOMES
 PROPOSED ROOF PLAN



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 006 07/24/18

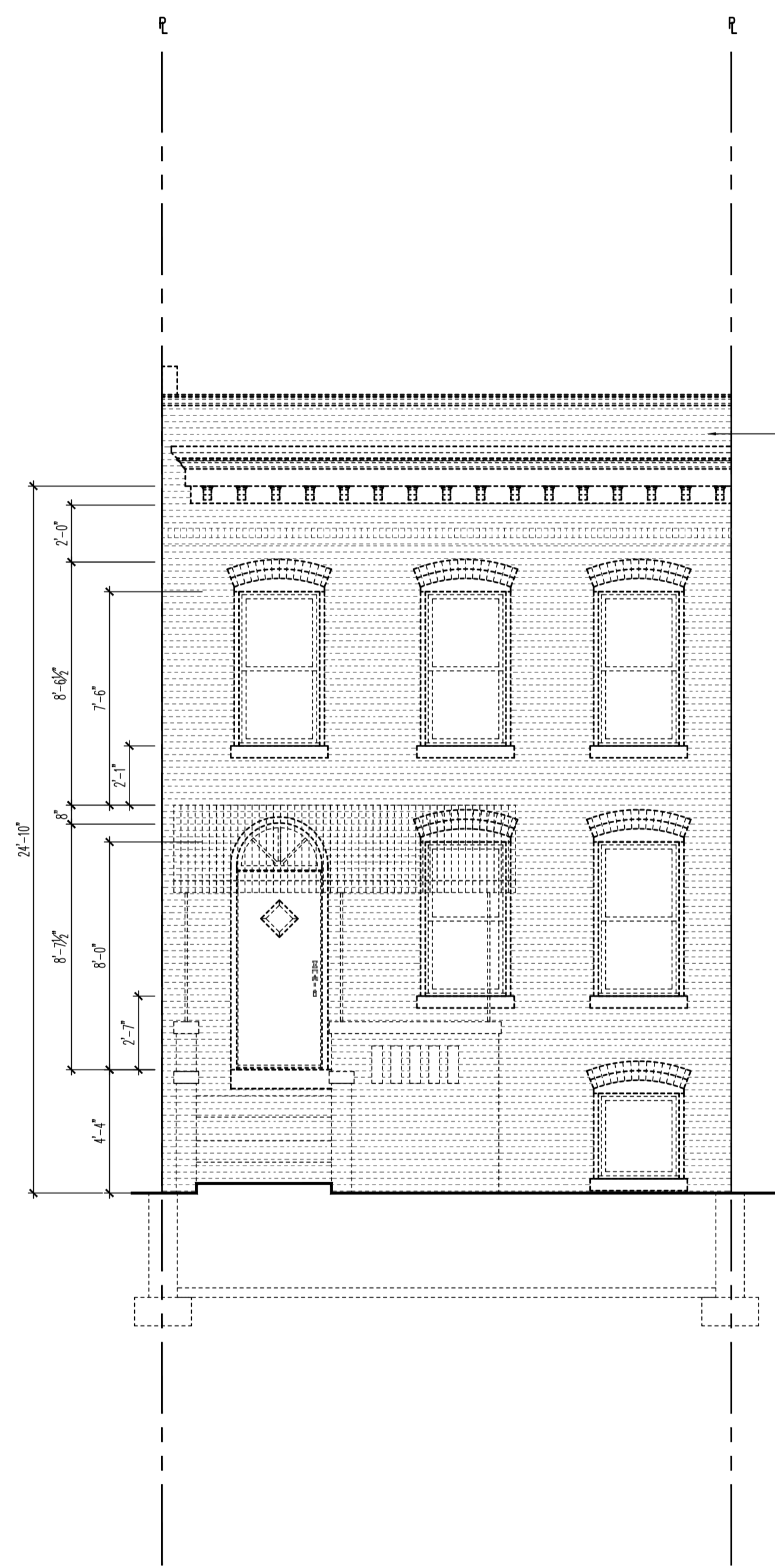
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SHEET No.
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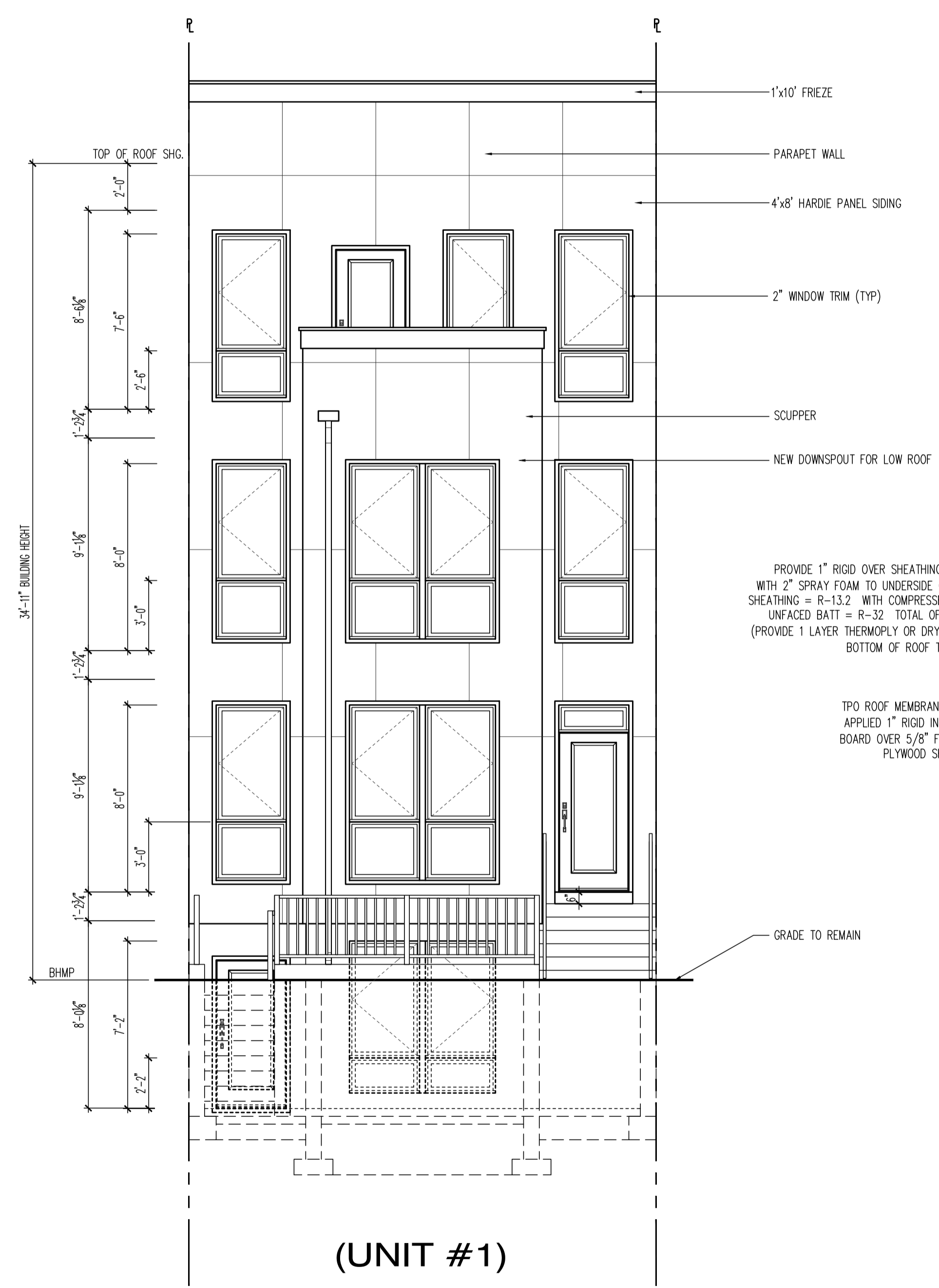


PROPOSED ROOF DECK PLAN
 SCALE: 1/4"=1'-0"

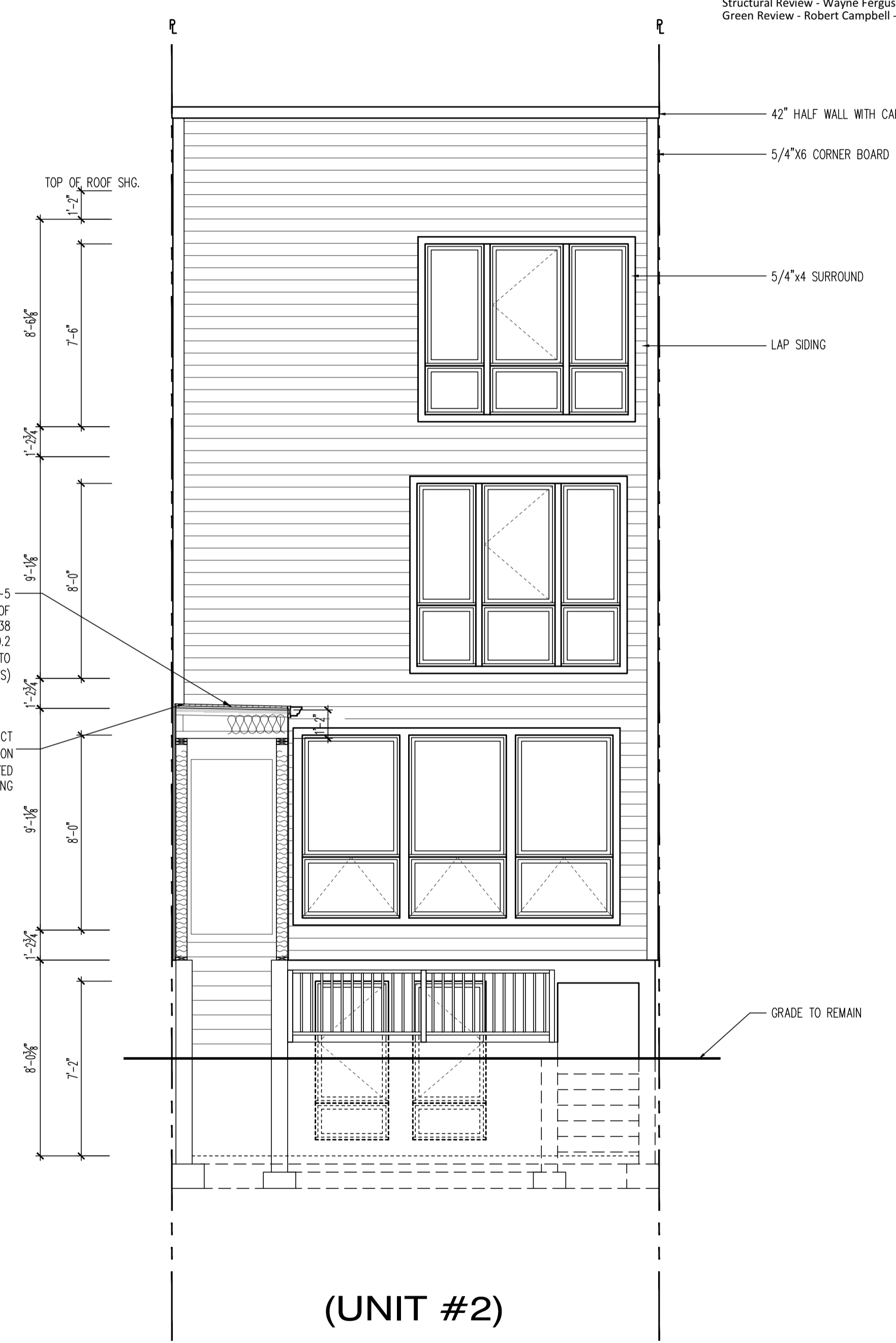
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 - PLANS -
 Permit No. 81706219
 Date: 08/02/18
 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications to these plans. Changes require a permit with the revised plans. Permits are required for trade work electrical or plumbing.



EXISTING FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"
 1125 7th St NE - STONY CREEK HOMES
 FRONT & REAR ELEVATIONS



DRAWN BY:	
MCR	
DATE:	03/10/17
REV No.	DATE
XXX	XX-XX-XX

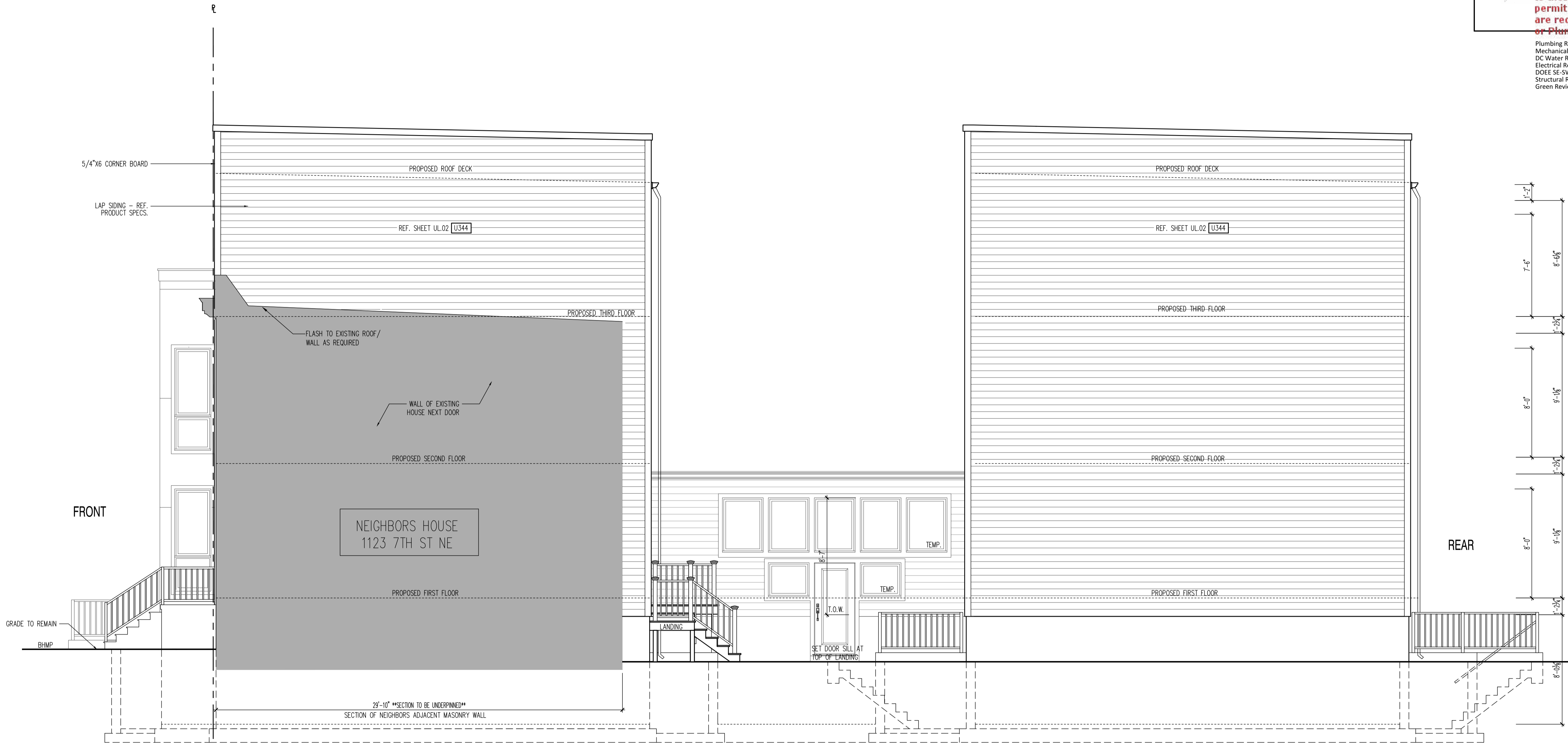
01.01.17

SHEET No.
 A4.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 Plans Approved
 Permit No. 81706219 Date 08/02/18

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a separate permit with the revised plans. Changes to the approved plans are required for trade work electrical or plumbing.

Plumbing Review - Wayne Ferguson - 08-31-2017
 Mechanical Review - Wayne Ferguson - 08-31-2017
 DC Water Review - Vahid Bilvardi - 08-31-2017
 Electrical Review - David Njafuh - 08-31-2017
 DOEE SE-SW Review - Charles Edwards - 08-31-2017
 Structural Review - Wayne Ferguson - 08-31-2017
 Green Review - Robert Campbell - 08-31-2017



RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
1125 7th St NE - STONY CREEK HOMES
RIGHT SIDE ELEVATION



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 XXX XX-XX-XX

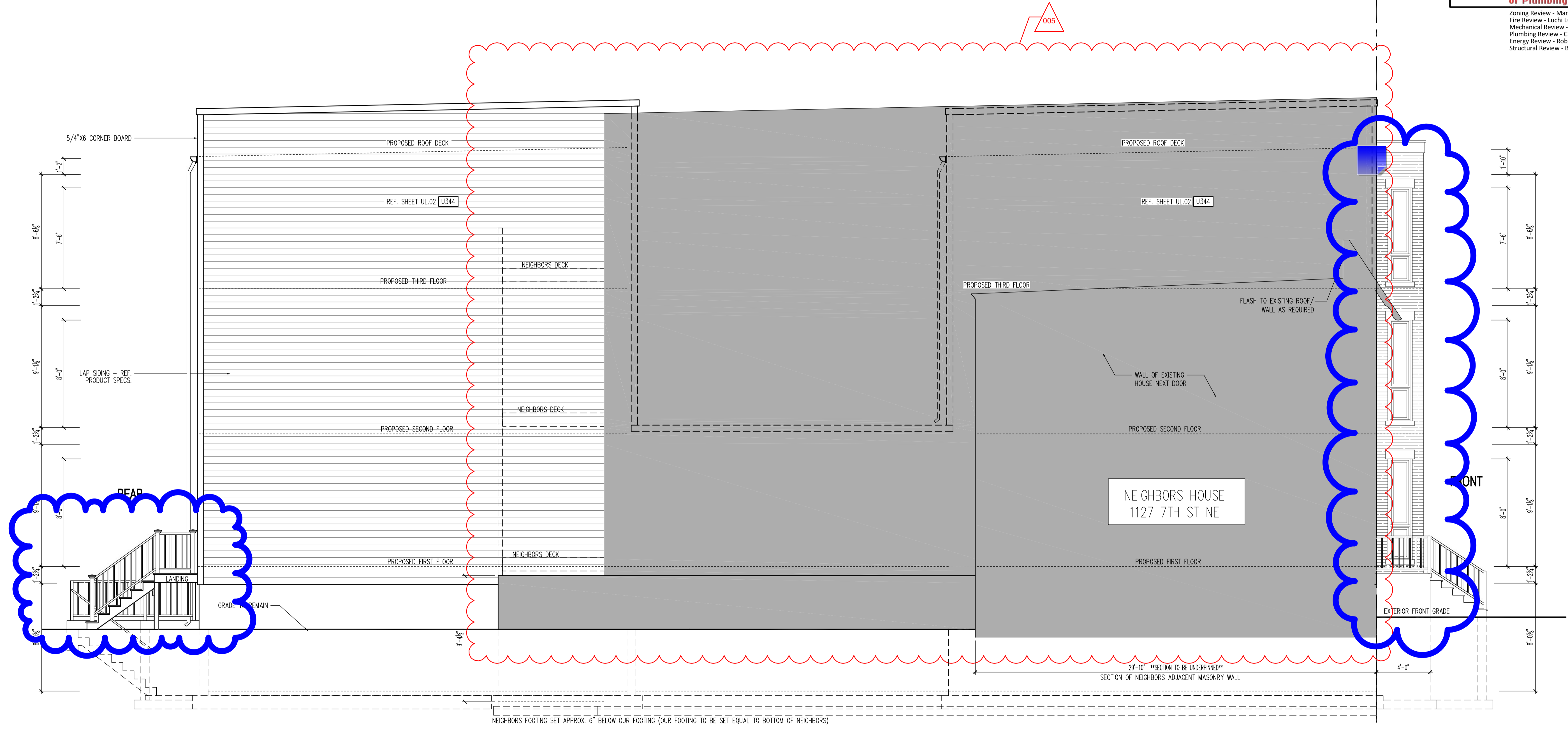
01.01.17

SHEET No.
 A4.2

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Electrical or Plumbing

Zoning Review - Mamadou Ndiaw - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

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LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
LEFT SIDE ELEVATION



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DATE:	03/10/17
REV No.	DATE
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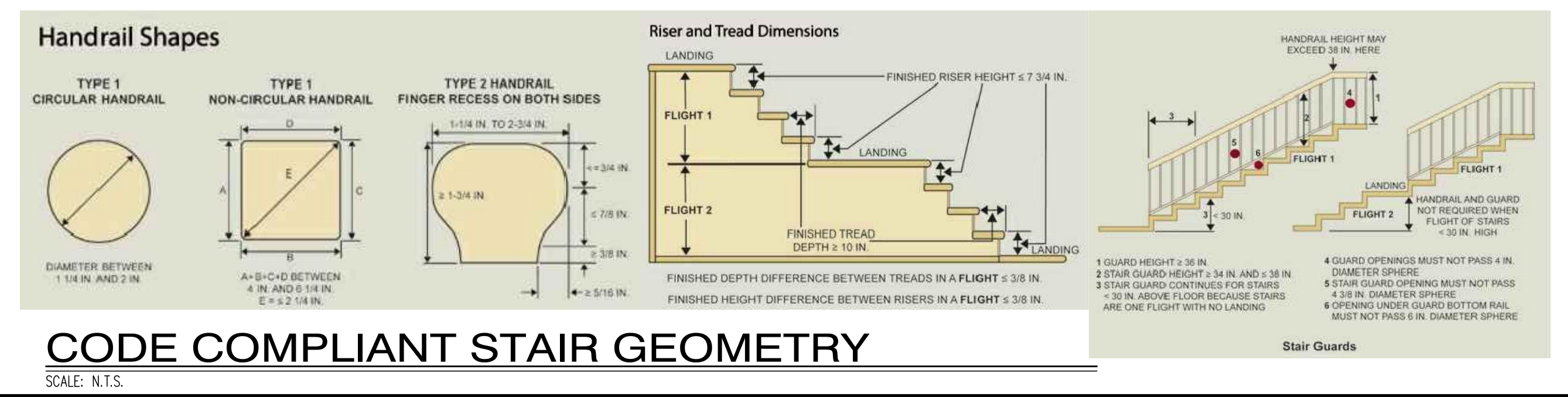
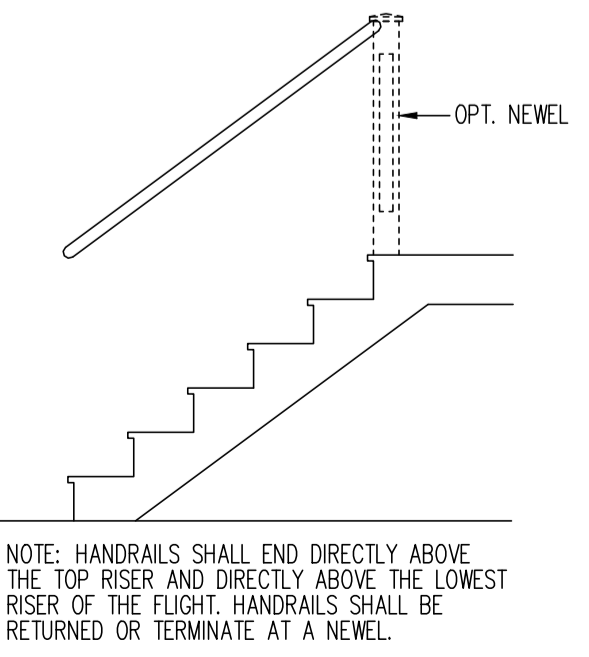
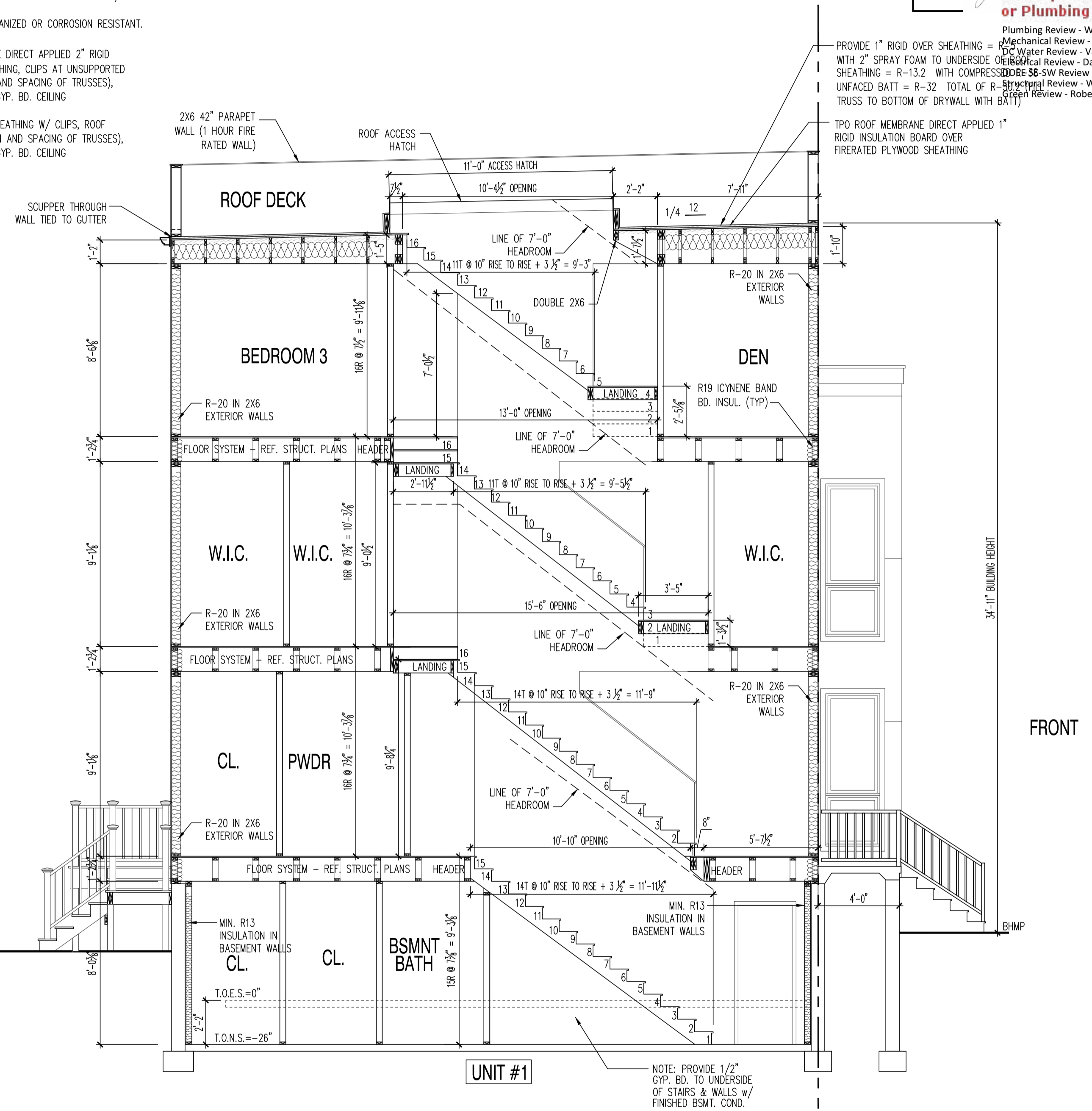
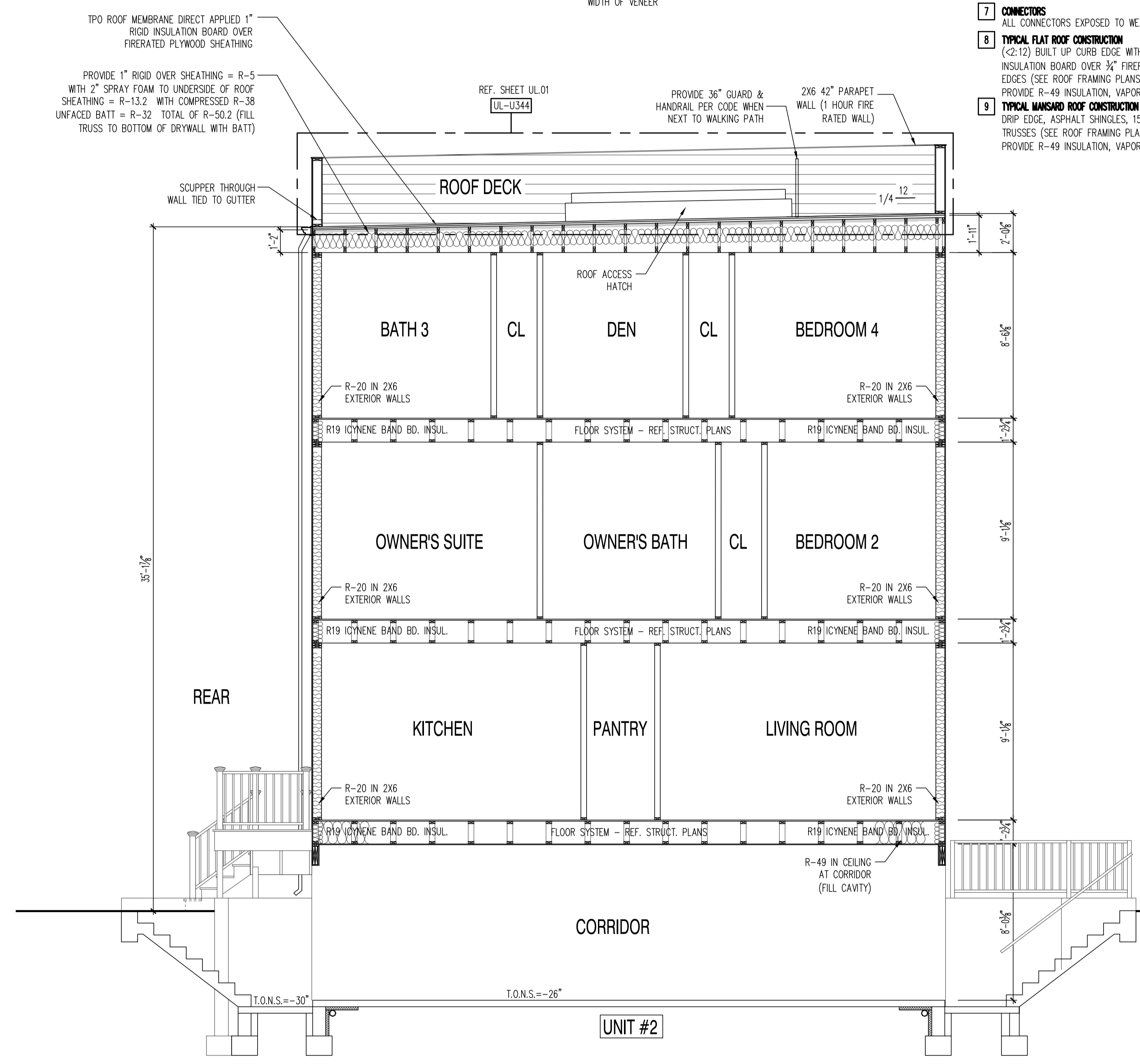
01.01.17

SHEET No.
A43

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications without the written approval of the District of Columbia Department of Public Works. Changes require a separate permit with the revised plans. Permits are required for trade work electrical, mechanical, plumbing, or fire protection.

TYPICAL CONSTRUCTION

- 1 **TYPICAL FOUNDATION WALL CONSTRUCTION**
POURED IN PLACE CONCRETE FOUNDATION WALL ON SPREAD FOOTINGS. REF. FOUNDATION PLAN FOR SIZE AND REINFORCING.
- 2 **TYPICAL FLOOR SLAB CONSTRUCTION**
4" STRUCTURAL CONCRETE SLAB WITH W/6x6 WIRE MESH OVER ON 6 MIL POLY VAPOR BARRIER ON 4" WASHED GRANULAR FILL, SET REINFORCING AT CENTERLINE OF SLAB
- 3 **TYPICAL EXTERIOR BRICK VENEER WALL CONSTRUCTION**
2 1/2" BRICK VENEER, 1/2" PLYWD. OR OSB SHEATHING OVER 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. PROVIDE WEEP HOLES AT GRADE LINE. PROVIDE 15# FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER
- 4 **TYPICAL EXTERIOR FRAME WALL CONSTRUCTION**
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYWD. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION (R-20 INSULATION @ 2X6 STUD WALL), VAPOR BARRIER, AND 1/2" GYP. BD. (OR PER UL ASSEMBLY NOTED)
- 5 **TYPICAL FLOOR/CEILING CONSTRUCTION**
3/4" NOM. T&G OSB PLYWD SUBFLOOR, GLUED AND SCREWED ON OPEN WEB FLOOR (SEE FRAMING PLAN FOR DEPTH, SPACING AND SERIES) PROVIDE 1/2" GYP. BD. CEILING (OR PER UL ASSEMBLY NOTED)
- 6 **TYPICAL INTERIOR AND EXTERIOR BEARING WALLS**
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
- 7 **CONNECTORS**
ALL CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
- 8 **TYPICAL FLAT ROOF CONSTRUCTION**
(2:12) BUILT UP CURB EDGE WITH TPO ROOF MEMBRANE DIRECT APPLIED 2" RIGID INSULATION BOARD OVER 3/4" FIRERATED PLYWOOD SHEATHING, CLIPS AT UNSUPPORTED EDGES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
- 9 **TYPICAL MANSARD ROOF CONSTRUCTION**
DRIP EDGE, ASPHALT SHINGLES, 15# FELT, 7/16" OSB SHEATHING W/ CLIPS, ROOF TRUSSES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING



BUILDING SECTION
 SCALE: 1/4"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION
 22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
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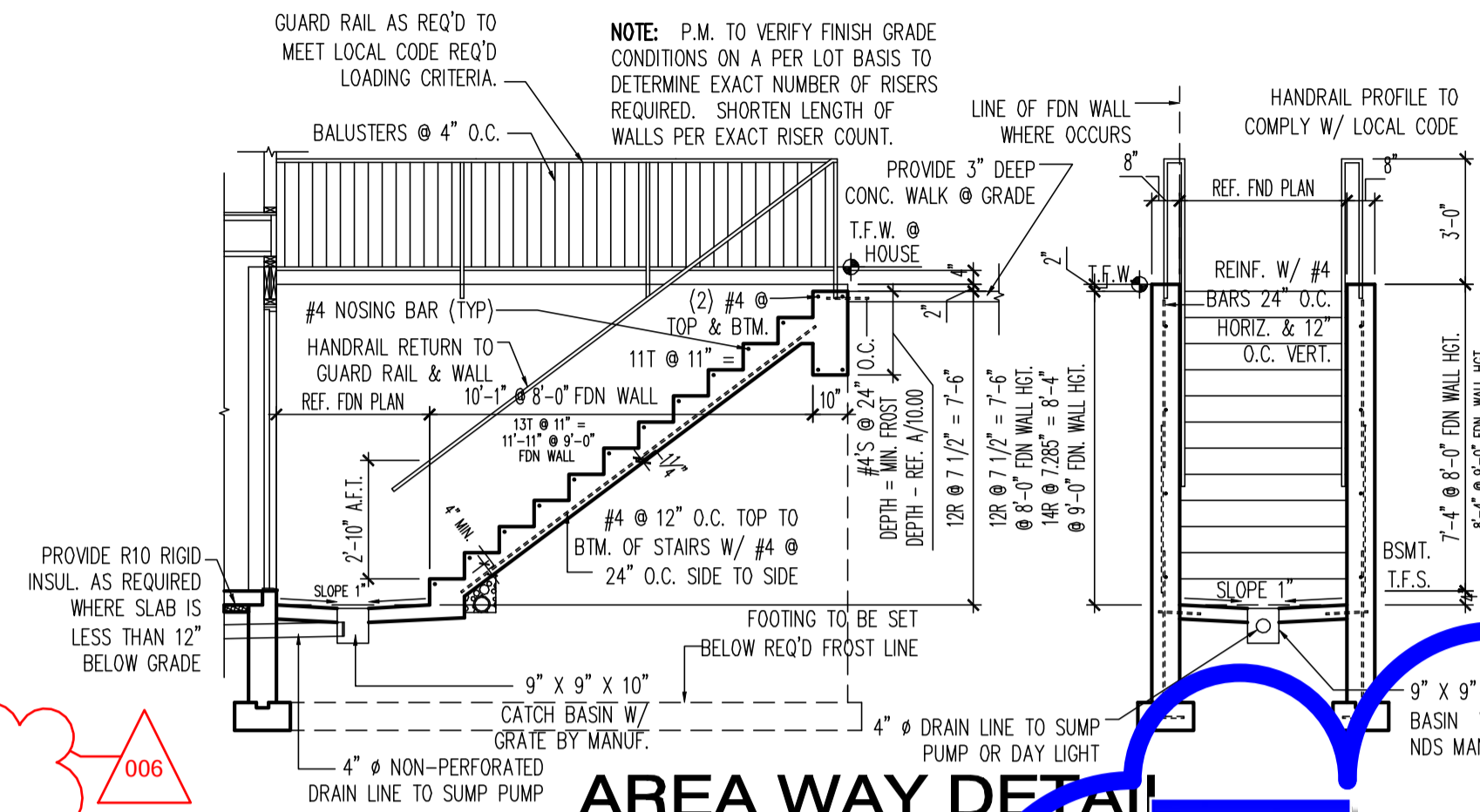
01.01.17

SHEET No.
 A5.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are not to be used for any other project. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Engineering or Plumbing

Zoning Review - Mamadou Ndiaye - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

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PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (PROVIDE 1 LAYER THERMOPLY OR DRYWALL TO BOTTOM OF ROOF TRUSSES)

TPO ROOF MEMBRANE DIRECT APPLIED 1" RIGID INSULATION BOARD OVER 5/8" FIRERATED PLYWOOD SHEATHING

SCUPPER THROUGH WALL TIED TO GUTTER

NEW DOWNSPOUT LOCATION TIED INTO WASTE LINE

REAR

FRONT

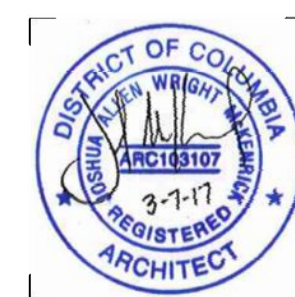
UNIT #2

UNIT #1

BUILDING SECTION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



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 MCR
 DATE: 03/10/17
 REV No. DATE
 006 07/24/18

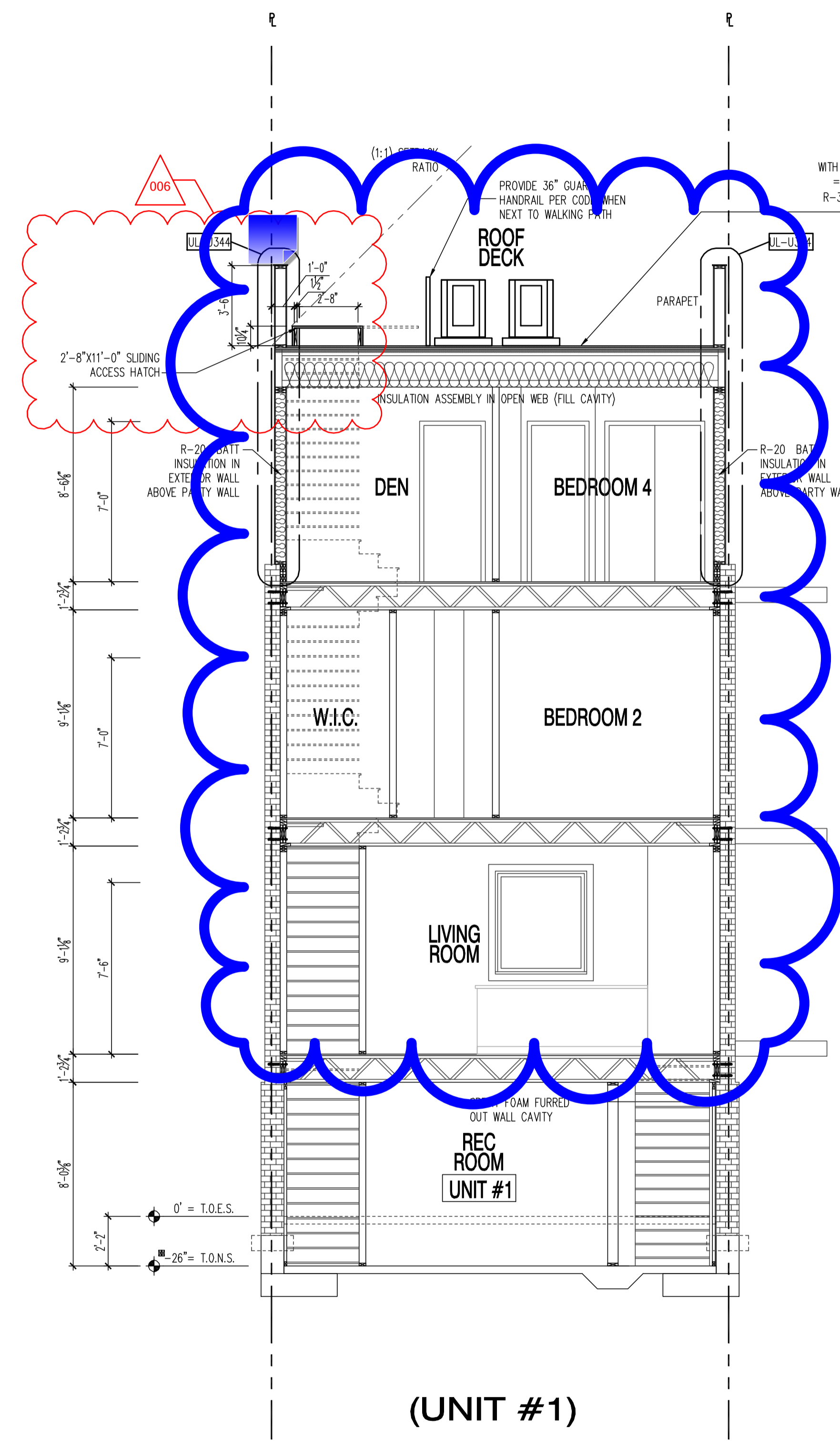
01.01.17

SHEET No.
 A5.2

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Revisions are required for trade work, electrical or plumbing.

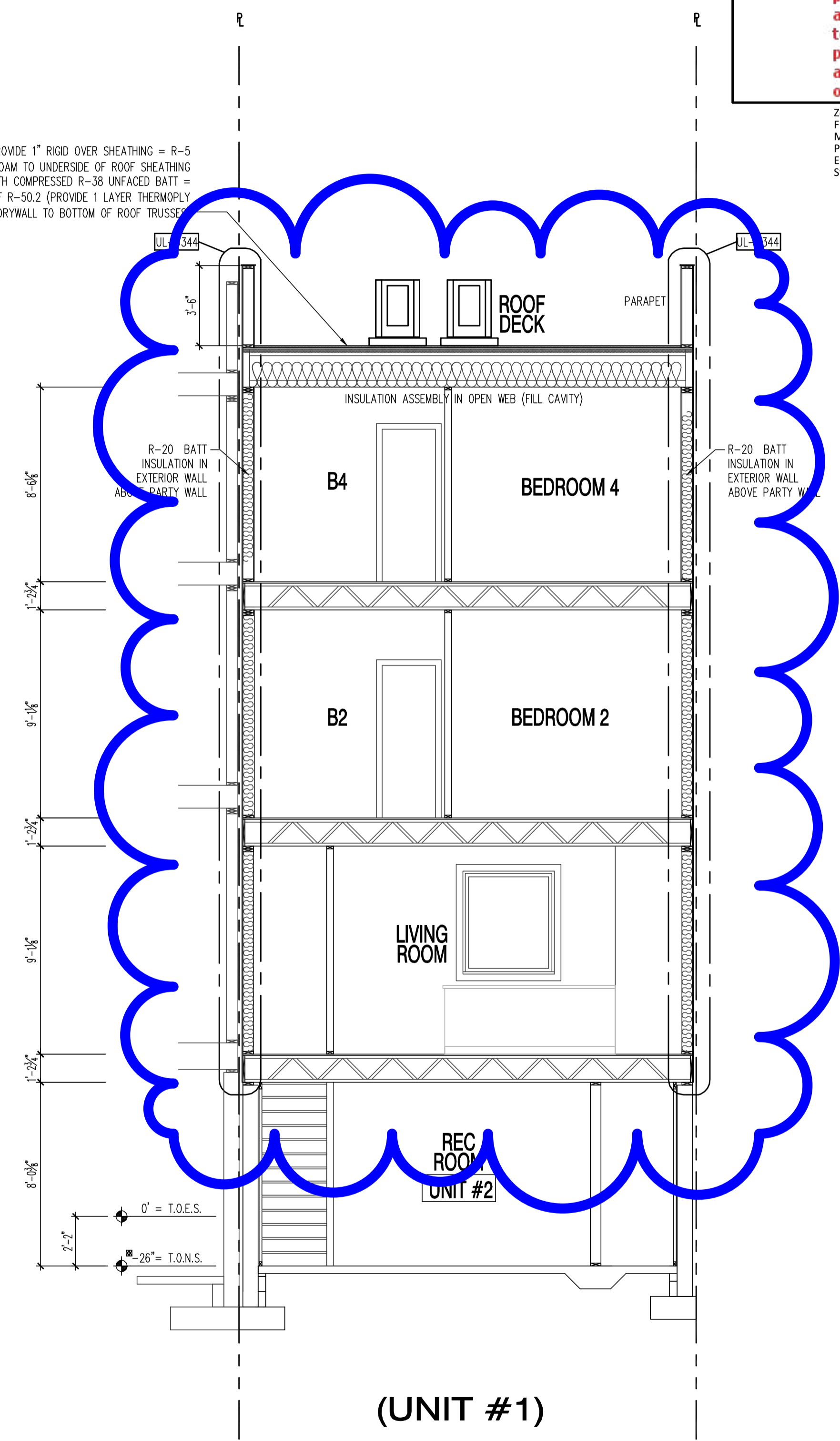
Zoning Review - Mamadou Ndiaw - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bilhon Debessai - 08-02-2018

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(UNIT #1)

A BUILDING SECTION
 SCALE: 1/4"=1'-0"

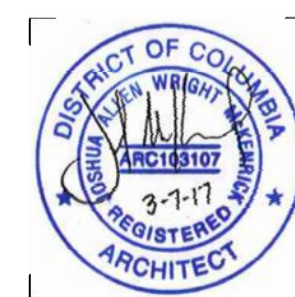


(UNIT #1)

B BUILDING SECTION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



DRAWN BY:	
MCR	
DATE:	03/10/17
REV No.	DATE
006	07/24/18

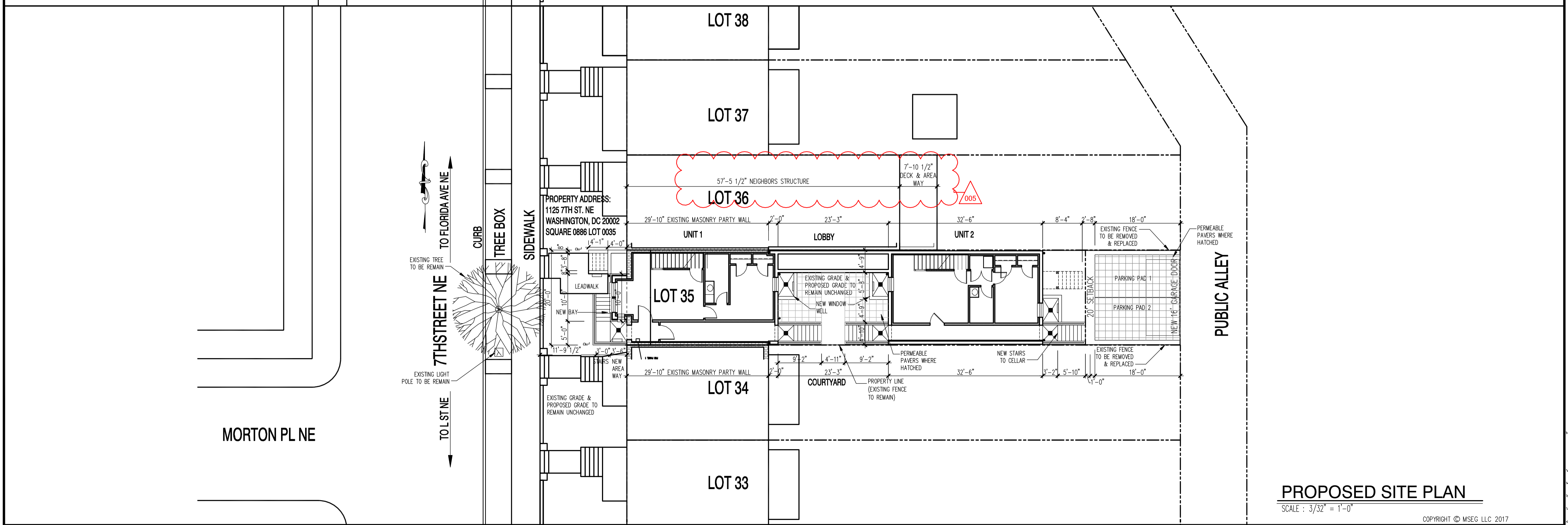
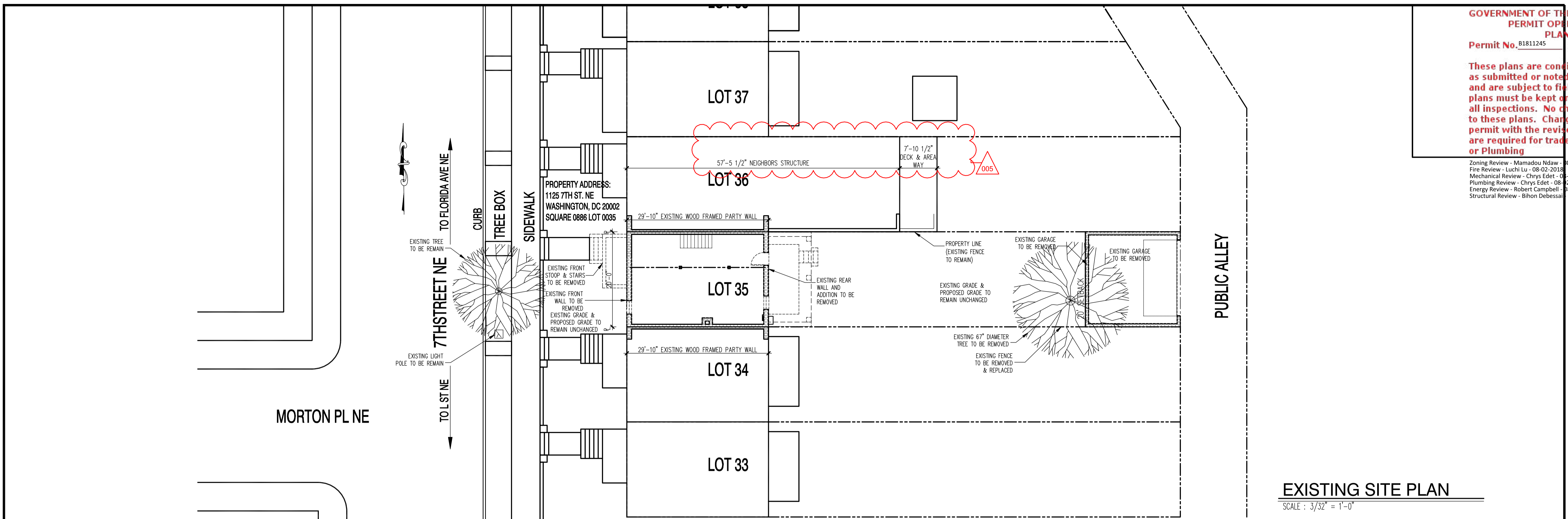
01.01.17

SHEET No.
 A53

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are subject to all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Permits are required for trade work, electrical or plumbing.

Zoning Review - Mamadou Nday - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debessal - 08-02-2018

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22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

1125 7th St NE - STONY CREEK HOMES
 SITE PLAN



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 005 06/05/18

01.01.17

SHEET No.
 SP.01